

TRAILHEAD
SUNCADIA - PHASE 1, DIVISION 12A
 A PORTION OF SECTION 19, T. 20 N., R. 15 E., W.M.,
 KITTITAS COUNTY, WASHINGTON

LEGAL DESCRIPTION PER CHICAGO TITLE INSURANCE COMPANY GUARANTEE NO. 7215645618035:

LOT 4 OF SUNCADIA-PHASE 1, DIVISION 12, AN AMENDED BINDING SITE PLAN, AS RECORDED IN BOOK 39 OF SURVEYS, PAGES 2 THROUGH 5, UNDER AUDITOR'S FILE NO. 201312120007, BEING A PORTION OF TRACT Z-1 OF SUNCADIA PHASE 1, DIVISION 9, AS PER PLAT THEREOF RECORDED IN BOOK 11 OF PLATS, PAGES 78 THROUGH 82, IN THE COUNTY OF KITTITAS, STATE OF WASHINGTON;

AND

THAT PORTION OF LOT 3, OF TRAILHEAD CONDOMINIUM, IN THE COUNTY OF KITTITAS, STATE OF WASHINGTON, AS RECORDED IN BOOK 11 OF PLATS, PAGES 199 THROUGH 205, AND AMENDED BY FIRST AMENDMENT RECORDED IN BOOK 12 OF PLATS, PAGES 65 THROUGH 68, AND ACCORDING TO THE AMENDED AND RE-STATE DECLARATION THEREOF RECORDED UNDER AUDITOR'S FILE NO. 201312120009 AND RERECORDED UNDER AUDITOR'S FILE NO. 201401060036, RECORDS OF SAID COUNTY, WHICH IS BOUNDED BY A LINE DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHEAST CORNER OF SAID LOT 3, SAID CORNER BEING COMMON TO THE SOUTHEAST CORNER OF SAID LOT 4 AND THE TRUE POINT OF BEGINNING OF SAID LINE;
 THENCE SOUTH 13°21'25" EAST, ALONG THE EASTERLY BOUNDARY LINE OF SAID LOT 3, 52.00 FEET;
 THENCE SOUTH 77°22'47" WEST, 120.01 FEET;
 THENCE NORTH 13°21'25" WEST, 52.00 FEET TO A POINT ON THE SOUTHERLY BOUNDARY LINE OF SAID LOT 4;
 THENCE NORTH 77°22'47" EAST, 120.01 FEET TO THE TRUE POINT OF BEGINNING AND TERMINUS OF SAID LINE.

OWNER-DEVELOPER:

HIGHWAY 9 OFFICE PARK, LLC
 9623 32ND STREET SE, SUITE D112
 LAKE STEVENS, WA 98258-5783
 PHONE: 509-674-6569

PARCEL NO.:

954846

TAX MAP NO.:

20-15-19055-0003

GENERAL NOTES:

VACATION HOMESITES RANGING IN SIZE FROM 0.14 ACRES TO 0.37 ACRES

TOTAL AREA: 1.50 ACRES
 TOTAL LOT AREA: 1.08 ACRES
 TOTAL NUMBER OF LOTS: 14
 TOTAL NUMBER OF TRACTS: 1

THIS PLAT WHICH WILL BE REFERRED TO AS PHASE 1, DIVISION 12A.

WATER & SEWER NOTES:

SEE PRELIMINARY SITE & UTILITY ENGINEERING INFORMATION

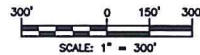
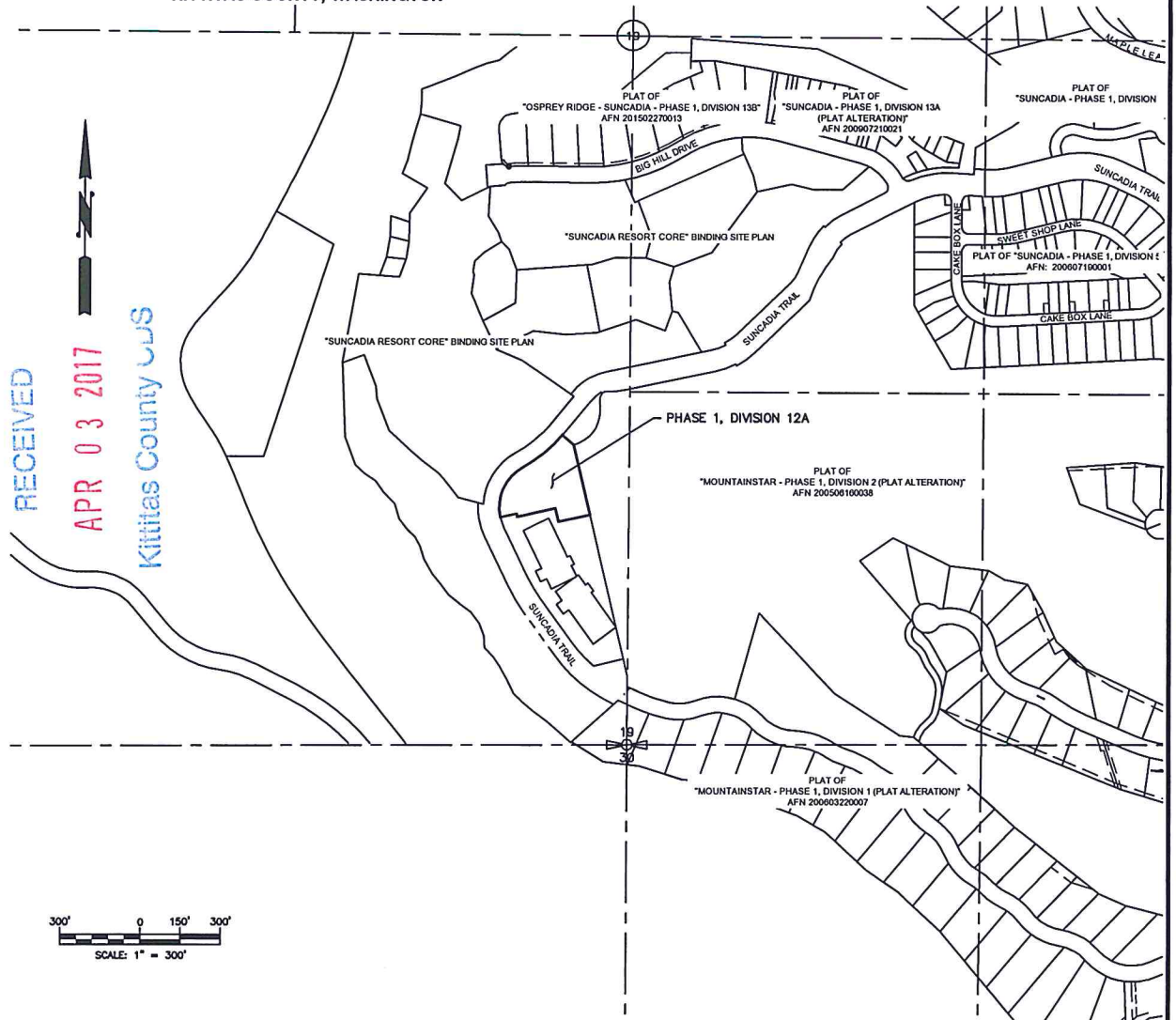
BASIS OF HORIZONTAL & VERTICAL DATUM:

HORIZONTAL:

WASHINGTON STATE PLANE COORDINATE SYSTEM, SOUTH ZONE, NAD 83/91 THE DISTANCES SHOWN HEREON ARE GROUND DISTANCES, TO CONVERT TO GRID DISTANCES, MULTIPLY BY A COMBINED SCALE FACTOR OF 0.999870387.

VERTICAL:

NGVD 29



Encompass
 ENGINEERING & SURVEYING

Western Washington Division
 165 NE Juniper Street, Suite 201 • Issaquah, WA 98027 • Phone: (425) 392-0250 • Fax: (425) 391-3055
 Eastern Washington Division
 407 Swiftwater Blvd. • Cle Elum, WA 98922 • Phone: (509) 674-7433 • Fax: (509) 674-7419

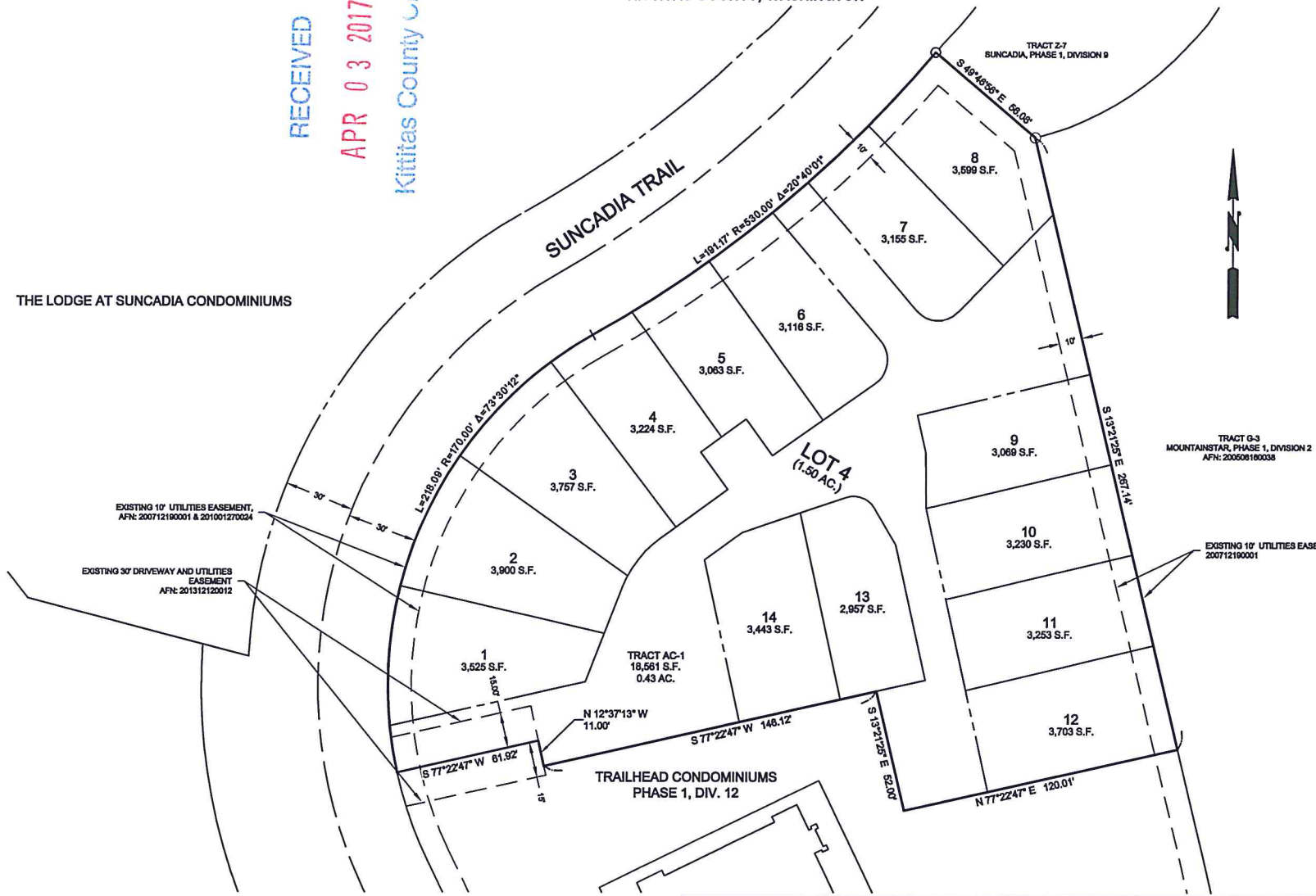
PRELIMINARY PLAT
 PREPARED FOR

HIGHWAY 9 OFFICE PARK CENTER, LLC
 A PORTION OF SECTION 19,
 TOWNSHIP 20 NORTH, RANGE 15 EAST, W.M.

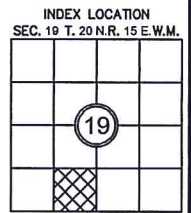
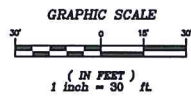
KITTITAS COUNTY		WASHINGTON	
DWN BY	DATE	JOB NO.	
DLP	3/2017	16080	
CHKD BY	SCALE	SHEET	
GW	1" = 300'	1 OF 3	

TRAILHEAD
SUNCADIA - PHASE 1, DIVISION 12A
 A PORTION OF SECTION 19, T. 20 N., R. 15 E., W.M.,
 KITTITAS COUNTY, WASHINGTON

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THE LODGE AT SUNCADIA CONDOMINIUMS

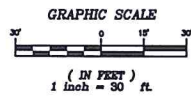
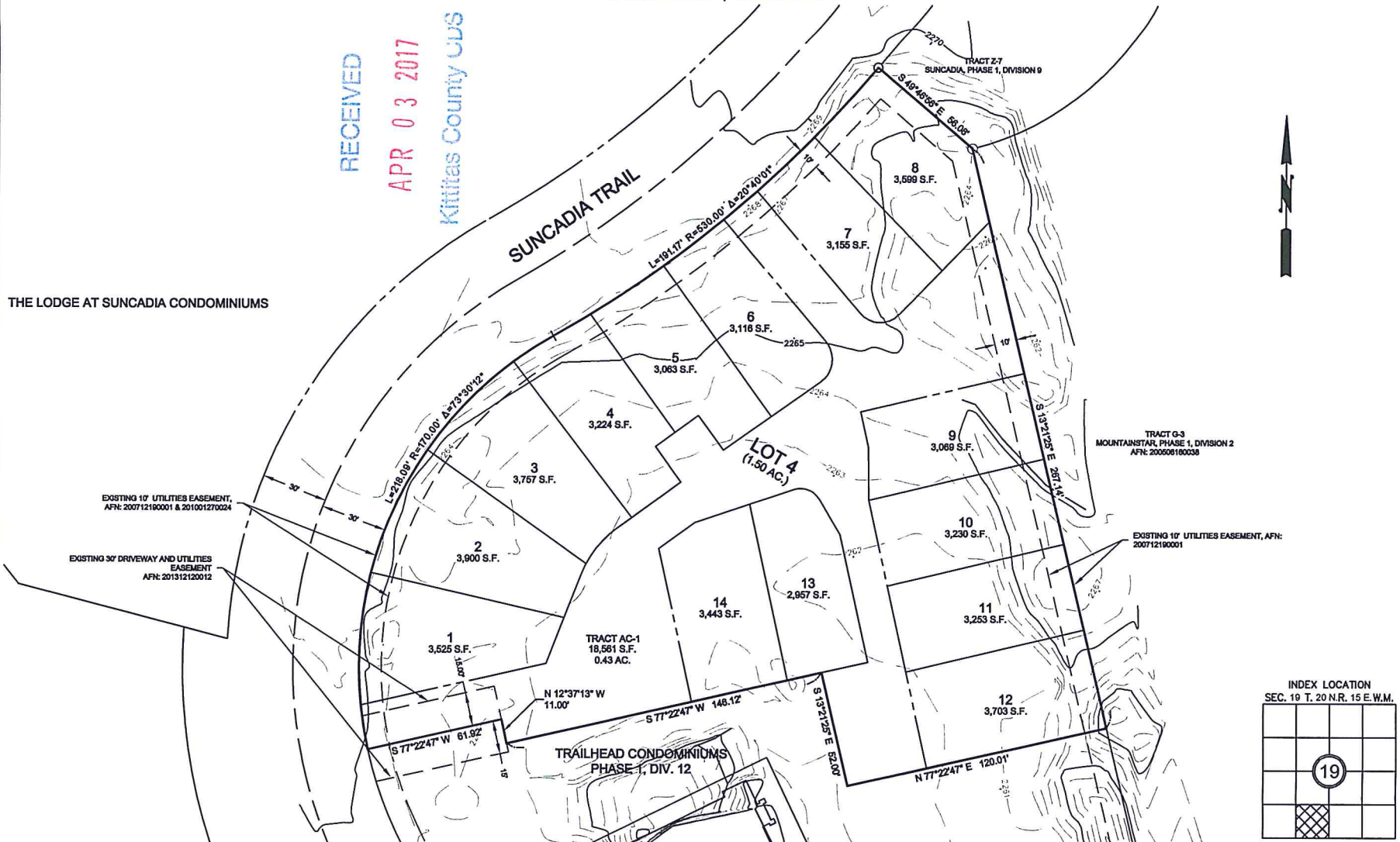


PRELIMINARY PLAT PREPARED FOR HIGHWAY 9 OFFICE PARK CENTER, LLC A PORTION OF SECTION 19, TOWNSHIP 20 NORTH, RANGE 15 EAST, W.M. KITTITAS COUNTY WASHINGTON		
DWN BY	DATE	JOB NO.
DLP	3/2017	16080
CHKD BY	SCALE	SHEET
GW	1" = 30'	2 OF 3

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KITTITAS COUNTY			WASHINGTON		
DWN BY	DATE	JOB NO.			
DLP	3/2017	16080			
CHKD BY	SCALE	SHEET			
GW	1" = 30'	3 of 3			



April 5, 2017

Kittitas County
Community Development Services
411 N. Ruby Street, Suite 2
Ellensburg, WA 98926

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RE: Suncadia Phase 1 Division 12, Amended BSP, Lot 4
Water and Sewer Utility Infrastructure
Parcel #20-15-19055-0003; Owner: Highway 9 Office Park Center, llc.

The purpose of this letter is to address water and sewer availability to service the above referenced 14-unit (7 duplex buildings) development.

Water service to the development parcel is provided by the Suncadia Water Company. An existing 8-inch water main on Suncadia Trail fronts the project and will provide adequate capacity and flow for the anticipated level of development. After necessary mains and service lines are constructed and conveyed per Suncadia Water Company standards, the Suncadia Water Company will provide service to the 14 individual units.

Sewer service to the development parcel is provided by the Suncadia Environmental Company sewer system. Existing sewer mains include an 8-inch main in Suncadia Trail and a 12-inch main between the adjacent parcel and the golf course driving range. After the sewer mains and service stubs to the individual units are constructed and conveyed per Suncadia Environmental Company standards, the Suncadia Environmental Company will provide service to the 14 individual units.

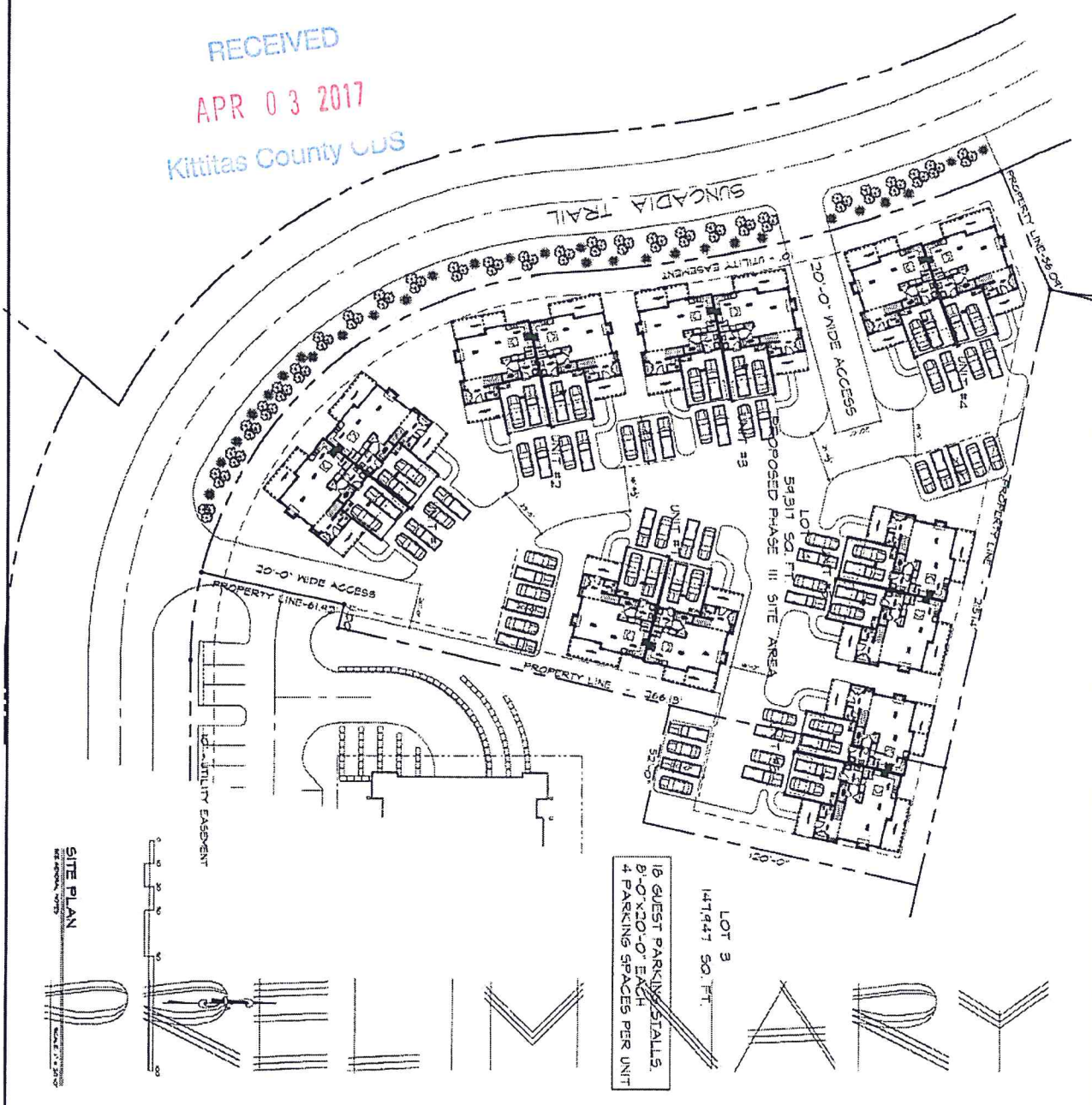
Please contact me if you have any questions.

Sincerely,

A handwritten signature in black ink, appearing to be "Cape Powers", written over a horizontal line.

Cape Powers
Director of Utilities

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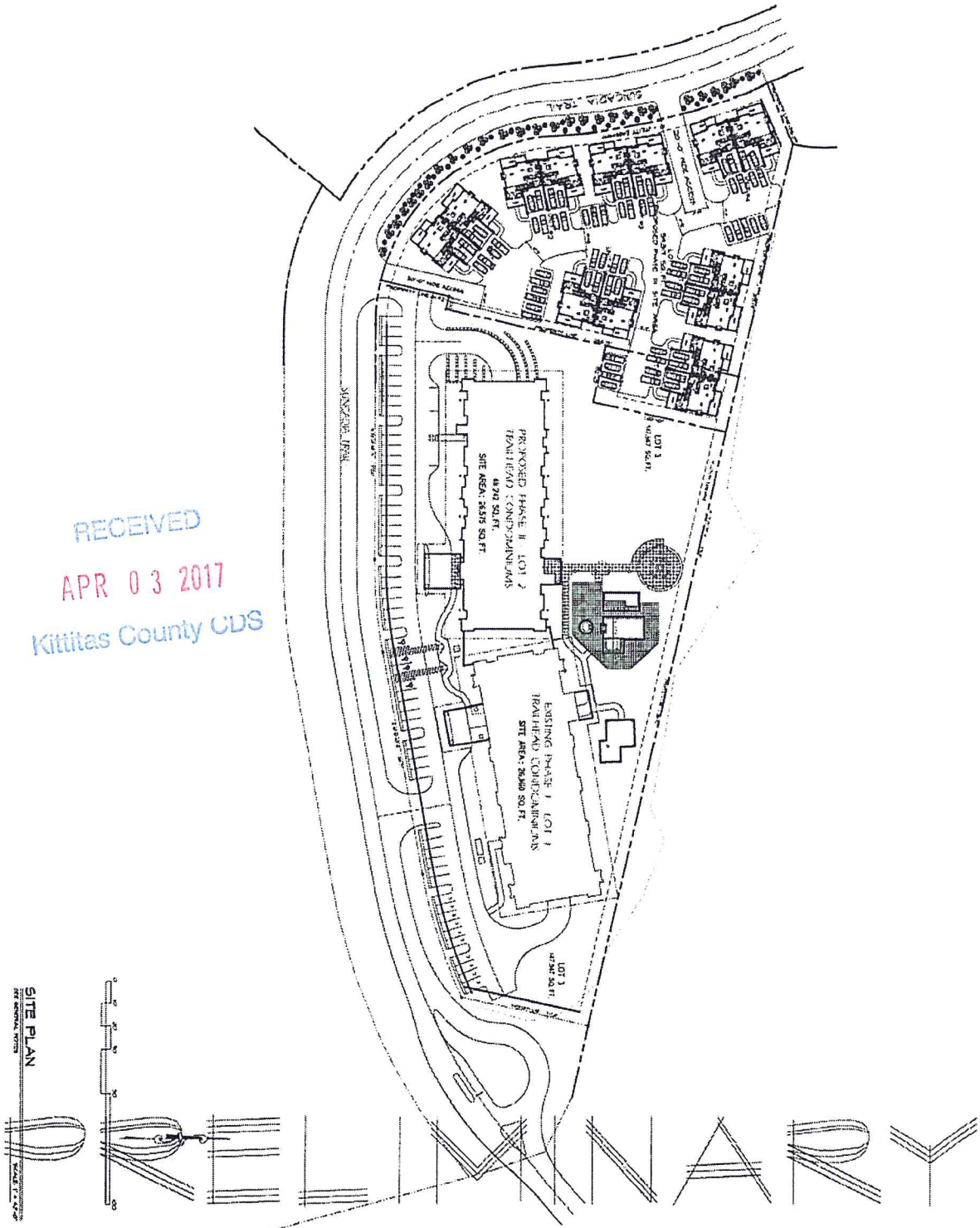


SITE PLAN
 1/18/2017

LOT 3
 141,947 SQ. FT.
 18 GUEST PARKING STALLS
 8'-0\"/>

<p>20% COMMENT SHEET DATE: 4/3/2017 BY: [Signature]</p>	<p>DATE: 4/3/2017 BY: [Signature]</p>	<p>DATE: 4/3/2017 BY: [Signature]</p>	<p>project: TRAILHEAD PH. III DUPLEX PLAN UNIT 'A' XXXX SUNCADIA TRAIL CLE ELUM, WA</p>	<p>NASH & ASSOCIATES ARCHITECTS</p> <p>1414 1/2 AVENUE, SUITE 200 WA WA 98901</p>		<p> </p>
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SITE PLAN
 SCALE: 1" = 40'
 SEE EXHIBIT 1000

200 GARDNER PARKWAY SUITE 100 CLE ELUM, WA 99009 PH: 509-754-1111 FAX: 509-754-1112 WWW.NASH-ASSOCIATES.COM	SHEET C2 OF C2	PROJECT: TRAILHEAD PH. III DUPLEX PLAN UNIT 'A' XXXX SUNGADIA TRAIL CLE ELUM, WA	NASH & ASSOCIATES ARCHITECTS <small>1111 1/2 AVENUE E. - FEDERAL WAY, WA 98003-4212 WWW.NASH-ASSOCIATES.COM</small>		
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